

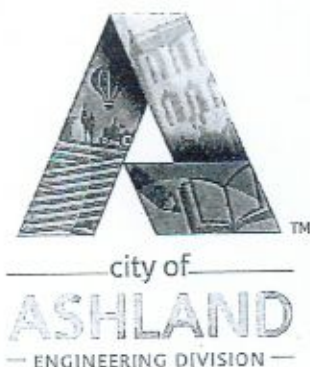
city of

ASHLAND

ohio

RESIDENTIAL BUILDING DEPARTMENT

City of Ashland Building & Zoning Department
206 Claremont Avenue
Ashland, Ohio 44805
419-289-8744



SHANE KREMSEK, P.E.
DIRECTOR OF ENGINEERING & BUILDING DEPARTMENT

PHONE: 419.289.8331

FAX: 419.281.8052

KREMSEK.SHANE@ASHLAND-OHIO.COM

Why do I Need Approvals, Permits, and Inspections?

An explanation of the importance of building codes and inspection services.

Who Writes the Codes?

Building codes are developed in a way similar to the law making process. Many groups of people are involved; building officials, fire officials, developers, material suppliers, the public, engineers, architects, builders, research and testing labs, and governmental leaders. One-, two-, and three-family residential dwellings are regulated locally by certified residential building departments. Residential buildings are required to comply with the requirements of the Residential Code of Ohio.

What is a Plan Approval and why is it needed?

Plan approval is simply a review of your projects' drawings and specifications to ensure compliance with the building codes for your project and does so in a way that assures that it is safe and sanitary. Construction of a building project in accordance with approved drawings and specifications is the best way to make sure you are getting the end result you desire, that it is safe for use or occupancy, and the assurance that you had secured your right to build an approved design.

Why do inspections need to be made?

It could easily be said that an owner's cheapest form of "insurance" is that of getting inspections made at the appropriate times during construction. Few owners are familiar enough with or qualified to perform the variety of work necessary in a construction project, alteration, or addition. Alterations, additions, or modifications to structural, electrical, mechanical, or plumbing systems require specialized skills and, by obtaining an approval and inspections, there is a much higher level of assurance that the project complies with safety codes and that the structural, electrical, gas piping, plumbing, and mechanical systems are installed properly.

Additionally, not only does the law require owners to obtain permits and inspections, but lending institutions and insurance companies want to protect the asset that they are funding or insuring. If a problem develops, having obtained permits and inspections will support an owner's claims if problems develop during and after construction. The process ultimately ends with the building owner receiving a Certificate of Occupancy.

What about Non-residential Buildings?

In Ohio, all non-residential and multifamily buildings (other than 1-, 2-, and 3-family dwellings, and agricultural buildings) are required to comply with the requirements of the Ohio Building, Mechanical, and Plumbing Codes. Permits, approvals, and inspections for these buildings are required.

What is covered by the Ohio Residential code and what isn't?

The most important thing an owner can do when contemplating a building project is to contact the City of Ashland Building and Zoning Department first to get an idea of things that the owner should consider before proceeding with a project.

This should be an open discussion in which the Building Official's experience can be a benefit to the owner's planning. Many issues, if discussed on the front end of a project, can have little or minimal impact on a project and it makes the process a smooth one for the owner.

Work that is exempt from approval.

There is some work such as repairs, maintenance, painting, and decorating that does not trigger the building code and can be done without approvals and inspections. It must be remembered, however, that exemption from the requirements of the code do not grant authorization for any work to be done in any unsafe or hazardous manner in violation of the provisions of the code, laws, or ordinances of the City of Ashland. Some work may not be regulated by the Residential Code of Ohio, but does require zoning approval and a zoning permit. Please call the City of Ashland Building and Zoning Department at 419-289-8744 prior to construction to verify requirements.

Design is the Key

While codes cannot prevent every disaster, they are meant to provide reasonable tools for managing risk for the construction, use, and occupancy of buildings. These risk management tools are minimum standards for the health, safety, and welfare of the occupants and, secondarily, protection of the structure. A good building design can provide safety and sanitation without sacrificing aesthetic value, functionality, and cost efficiency.

Should you have any questions regarding codes or construction in the City of Ashland, please feel free to call 419-289-8744; email our Permit Coordinator Ann Hawley at hawley.ann@ashland-ohio.com or visit the City of Ashland Building and Zoning Department at 206 Claremont Avenue, Ashland, Ohio 44805.

Shane Kremser, City Engineer
Residential Building Official



BEFORE YOU BUILD

City of Ashland Building & Zoning Department
206 Claremont Avenue
Ashland, Ohio 44805
419-289-8744

CHAPTER I A PERMIT IS REQUIRED FOR:

- Any new structures, additions, alterations or remodeling of existing structures;
- New or replacement electrical, mechanical and plumbing work;
- Utility installations;
- Driveway or sidewalk installation or replacement;
- Garages or other accessory buildings (permanent or temporary);
- Patios, porches and enclosures;
- Swimming pools (above and below ground) and storable pools with a depth greater than 2 ft.;
- Fences;
- Fireplaces / wood burning stoves;
- Siding (aluminum, vinyl, etc.);
- Towers (radio and television);
- Fire or other accidental damage repairs;
- Demolition (complete or interior);
- Lawn irrigation sprinklers;
- Major repairs – repairs to building systems that are required to meet standards regulated by the code;
- Furnace and/or hot water heater replacement.

If there is a doubt whether a permit is required or not, please call the Building & Zoning Department at 419-289-8744.

Minor repairs which do NOT require a permit include, but are not limited to: repair of existing roofs and siding, replacement of existing electrical switches and receptacles, faucet repair, drain cleaning, painting of walls, replacing carpeting, or other floor or wall finishes which are not regulated by the building code.

CHAPTER II ZONING REGULATIONS

The City of Ashland Ordinances divide the city into specific “districts” or “zones” depending on the type of uses that are permitted there. For example, a “single family residential” district means only single family homes are permitted in the neighborhood. When applying for a building permit, the application is reviewed by the Zoning Department. The plans must comply with the requirements of the district in which the property is located. You can obtain information on your zoning district from the Building & Zoning Department.

Zoning Restrictions.

The Zoning Code is intended to maintain the design and character of the neighborhood. It contains certain regulations about where buildings are situated on the property and the heights of structures. The Code also requires a certain minimum distance between structures and the property lines; this is known as a set back. As well as maintaining the character of the neighborhood, a set back insures that the home is accessible to emergency vehicles. Set backs vary in each district.

Properties may also have restrictions on what can be done within the property, such as utility easements and the public right-of-way. Homeowners should also be careful not to violate any deed restrictions, such as subdivision covenants and restrictions since the city will not check on these items.

Variances to the Code.

The Ashland Board of Zoning Appeals and the Ashland Board of Building Appeals is a group of citizens appointed by City Council to review variance requests to the zoning and residential building codes of the city. Variances to the Residential Building Code of Ohio can only be granted if the Board determines the applicant is proposing an equivalent alternative. If a minimum set back or other code requirements cannot be met due to a special hardship, an appeal may be made to the Board. The Zoning Department will assist in preparation of the application.

Questions related to zoning should be directed to the Building & Zoning Department at 419-289-8744. Copies of specific sections of the Zoning Code are available at the Building and Zoning Department, and the Zoning Code is also available at www.ashland-ohio.com

CHAPTER III BUILDING REGULATIONS

While zoning deals with the property and the relationship of the building to the neighborhood, building codes deal with the improvements and the building itself. These Codes are designed to safeguard health and safety in every building.

Building Code. The City of Ashland follows the *Residential Code of Ohio*. This Code specifies requirements, such as structural, foundation and masonry. A copy of the Code is available for reference in the Building & Zoning Department.

Plumbing Code. The City of Ashland follows the *Ohio Plumbing Code*. This Code covers all water drain lines in a house, including sizes and types of pipes permitted. The correct means of installing hot water heaters, drains, vents, fixtures, etc. are all covered by this Code.

Electrical Code. The City of Ashland follows the *National Electrical Code*. This Code covers all electrical work in a house and on the property, including sizes and types of conductors and circuit breakers required. The correct means of installing panel boards, electrical wiring, lighting fixtures and equipment, etc. are all covered by this Code; with the exception of electrical service equipment installed by the utility company, which is regulated under the National Electric Safety Code.

CHAPTER IV PERMIT INFORMATION

Some of the advantages to obtaining a permit for construction are:

1. Each phase of the construction is inspected for general safety, sanitation and code compliance.
2. If there is a problem during construction, the inspector can be consulted on how to remedy the problem.
3. There may be legal and financial liabilities when work is done without a permit, or concealed without inspection.

Who obtains the permit?

1. The property owner is ultimately responsible for ensuring a Building Permit is secured before work proceeds.
2. A Building Permit may be issued to the homeowner for work they perform.
3. If a contractor is hired, all contractors are required to be registered for work in the City of Ashland before they can be issued a permit.

Type of permits:

1. Building Permit
2. Plumbing Permit
3. Heating, Air Conditioning & Ventilating Permit
4. Electrical Permit

All structural and some nonstructural work require a building permit. General contractors, along with all trade contractors, are required to be registered with the city. If the construction involves building, electrical, plumbing, heating/air conditioning, one or more of the permits listed above may be required. If there is a question about whether or not a permit is required, contact the Building & Zoning Department.

When applying for a permit, complete drawings and appropriate application forms shall be submitted to the Building & Zoning Department. The city's process for reviewing plans depends on the type of permit. When hiring a contractor, he must be registered with the City of Ashland, and should be listed on the permit as the responsible party for his work. If the homeowner is acting as their own general contractor, they are responsible for the work. If work is started prior to obtaining a permit, additional late fees for that permit are charged.

Expiration of Permits.

All permits are subject to expiration and the deposits are subject to forfeiture when the permits expire without all inspection approvals:

- a. Building Permits and associated Trade Permits: If the work has not begun within six months of issuance, or the work is suspended for more than one year, the permit is expired.
- b. Separate Trade, Accessory and Repair Permits expire if the work has not begun or is suspended within 90 days.

Fees.

Fees are required for each building, electrical, heating, and plumbing permit. Fees are charged as required in the City of Ashland Codified Ordinances.

City of Ashland, Ohio - Permit Requirements

The following list provides general information regarding permit requirements for various residential construction, improvement, and maintenance activities. There may be other work that would require a permit not on this list. Even if a permit is not required for a certain activity, compliance with the 2013 Residential Code of Ohio is required. Building permit fees and other helpful information can be found on our web site.

| Work to be performed | Permit needed | Work to be performed | Permit needed | Work to be performed | Permit needed |
|---|---------------|--|---------------|---|---------------|
| Air Conditioner Replacement (except window units) - <i>Service and repairs do not require a permit.</i> | Y | Electrical wiring installation and replacement. A permit is required for new circuits or extension of circuits or placing additional fixtures or receptacles on an existing circuit. | Y | Plumbing Fixture Installation Repair or Replacement- A permit is required for new or relocated waterlines or drains. A permit is not required for plumbing fixture replacement. (sinks, toilets, tubs showers, etc. | Y |
| Accessory Structure (detached less than 200 Sq. Ft.) - Garage, shed, carport, etc. Zoning permit is required. | N | Electrical Miscellaneous Repair or replacement. <i>Replacement of receptacles or light fixtures is a repair and does not require a permit.</i> | N | Pools- Includes all in ground and above ground pools greater than 24" deep including "prefab" and inflatable pools. | Y |
| Accessory Structure (detached more than 200 Sq. Ft.) Garage, shed, carport, etc. | N | Fence - Six foot high or less Zoning permit required. | N | Porch with or without roof | Y |
| Alarm/Security System- Low voltage (less than 25 volts) wiring. | Y | Fire Place - New and Replacement | Y | Remodeling - Permits are required if interior or exterior walls are added or moved or plumbing, electrical wiring, heating or HVAC are installed or moved. <i>Minor repairs of existing building and equipment do not require permit.</i> | Y |
| Additions or Extension of Rooms, Garage, Carport | Y | Footing and/or Foundation Wall Repair or Replacement | Y | Retaining Walls- A permit is required for retaining walls over 48 inches high. | Y |
| Basement Finish | Y | Furnace Replacement - <i>Service and repair does not require a permit.</i> | Y | Roofing - Non-Structural Repair- Such as new shingles. | N |
| Bearing Walls Relocation or replacement | Y | Garage Door Opener. An electric permit is required if electrical wiring is required. | Y | Roofing Replacement- A permit is required when new sheathing and coverings are installed. | Y |
| Cabinet/Countertop Replacement | N | Generator - Permanently Installed. | Y | Solar Panels | Y |
| Electric permit may be required if new counter space is created. | Y | Hot Water Heater Replacement | Y | Sunroom or Porch over Existing Patio | Y |
| Chimney Replacement. <i>Repairs of chimney above roof do not require a permit.</i> | Y | Garbage Disposal - New - A permit is not required for replacing a garbage disposal unless it is a new installation which requires a separate circuit. | Y | Sky Lights - New/Replacement | Y |
| Decks - New or replacement regardless of height above grade. <i>Maintenance and deck board replacement does not require a permit.</i> | Y | Hot Tubs and Spas | Y | Siding - Replacement/Repair | N |
| Dishwasher - New installations require Electric and plumbing permit. <i>No permit is required for replacement in same location.</i> | Y | New Home | Y | Truss or Rafter Replacement | Y |
| Driveway - New and Relocations. New driveways and relocated driveways require a driveway permit. <i>Driveway repairs do not require a permit.</i> | Y | Landscape and LED Lighting- Low voltage. | N | Wind Turbines | Y |
| Electrical Service Upgrade | Y | Lawn Irrigation Systems | N | Window Replacement- A permit is not required if window opening size or location is not changed. | N |
| | | Painting, Papering, Tiling, Carpeting | N | | |
| | | Patio or Terrace on Grade | N | | |
| | | Playground Equipment | N | | |

1315.02 FEE SCHEDULE.**(a) Residential Building Permit Fees ^{1,2,3,4}**

| | | |
|------|---|-----------------------------|
| (1) | Building - New construction/addition/alterations | \$75.00 + \$2.50/100 SF |
| (2) | Electrical - New construction/additions/alterations | \$75.00 + \$2.50/100 SF |
| (3) | Electrical - Temporary service | \$50.00 (1 inspection only) |
| (4) | Electrical - Permanent service | \$50.00 (1 inspection only) |
| (5) | Electrical - Panel upgrade (up to 3 circuits) | \$50.00 |
| (6) | Electrical - Additional new circuits, each | \$10.00 |
| (7) | Electrical - Swimming pool/hot tub | \$50.00 |
| (8) | Electrical - Special safety inspection per request | \$50.00 |
| (9) | Plumbing - Base permit | \$50.00 |
| (10) | Plumbing - Plan review | \$25.00 |
| (11) | Plumbing - Each trap/fixture | \$10.00 |
| (12) | Plumbing - Replacement water heater | \$30.00 |
| (13) | Plumbing - Inspection - No plans | \$50.00 |
| (14) | HVAC - New construction/additions/alterations | \$75.00 + \$2.50/100 SF |
| (15) | HVAC - Ductwork only | \$50.00 |
| (16) | HVAC - Replacement furnace and or A/C or heat pump | \$50.00 |
| (17) | Decks - Attached | \$50.00 |
| (18) | Re-Inspections Fees | \$50.00 per inspection |
| (19) | Certificate of Occupancy | \$50.00 |
| (20) | Certificate of Occupancy (Partial) | \$100.00 (2 inspections) |

¹ On all Residential Building a 1% State Assessment Fee will be added.

² Plumbing permits apply only if the city has jurisdiction to enforce the RCO provisions.

³ Work performed without obtaining a permit will be subject to a 100% surcharge.

⁴ Notwithstanding any other provision of this chapter, a homeowner who resides and occupies the premises, wherein the work is to be performed by the homeowner, may obtain a combination permit for fifty dollars (\$50.00) to cover all or any alterations, remodeling, plumbing, electrical, or heating work provided that the value of such work shall not exceed five thousand dollars (\$5,000) in total.

(b) Non-Residential Building Permit Fees. Non-Residential Building Permit Fees shall be coordinated with the Richland County Building Department per their most current Fee Schedule.

(c) Engineering Permit Fees ⁵.

- (1) Site Development Permit (non-residential) \$150.00
- (2) Right of Way Permit⁶ \$75.00
- (3) Storm/Sanitary Sewer Permit \$75.00
- (4) Subdivision/Allotment Base Fee \$100.00 per lot

⁵ Work performed without obtaining a permit will be subject to a 100% surcharge.

⁶ A Performance Bond equal to \$1,000 shall be included with application.

(d) Sign Permit Fee ⁷.

Refer to Chapter 1184 for Fee Schedule.

⁷ Work performed without obtaining a permit will be subject to a 100% surcharge.

(e) Other Permit Fee ⁸.

- (1) Zoning Board of Appeals Application Fee \$100.00
- (2) Planning Commission Application Fee \$100.00
- (3) Zoning Review and Certification Fee \$50.00
- (4) Home Occupation Permit \$50.00
- (5) Demolition Permit Fee \$75.00
- (6) Moving Building Permit Fee \$50.00
- (7) Decks- Detached \$50.00
- (8) Fences/Sheds \$40.00
- (9) Swimming Pools \$50.00

⁸ Work performed without obtaining a permit will be subject to a 100% surcharge.

(Ord. 19-14. Passed 4-1-14.)

1315.03 LANDSCAPING PERFORMANCE BOND.

A cash surety or performance bond schedule is established as follows:

(a) Residential Properties:

- Single family \$300.00
- Duplex \$500.00
- Triplex \$750.00

(b) All other properties including multifamily:

\$1,000.00 plus \$0.10/square foot of off-street parking lot/vehicular use area, excepting lots for the exclusive use of employees.

(c) Cash security or performance bond will be returned upon inspection and written acceptance. (Ord. 19-14. Passed 4-1-14.)

1315.98 ANNUAL ASSESSMENT OF PERMIT FEES.

The Director will assess the schedule of fees listed herein, but not limited to, on an annual basis and propose adjustments, as needed, for Council's consideration with the Mayor's authorization.

(Ord. 19-14. Passed 4-1-14.)

1315.99 PENALTY.

Whoever violates any provision of this chapter is guilty of a fourth degree misdemeanor. Each day's violation shall constitute a separate offense. (Ord. 19-14. Passed 4-1-14.)

City of Ashland

Wood Frame Accessory Building Standards

Accessory buildings must comply with the City of Ashland Zoning Code, and the requirements of the Residential Code of Ohio.

Accessory Buildings One-Story Detached 200 square feet or less

1. A zoning permit must be obtained – No Building permit is required. A zoning permit application must be completed and signed. The zoning permit is \$40.00.
2. A site plan must accompany the zoning permit application to show the location of the building. Buildings must be located on the property in accordance with City of Ashland zoning regulations, and at least three feet from all property lines.
3. All four corners are required to be anchored by an approved method, and a minimum of six inches from the siding to the ground must be maintained. No permanent foundation is required.

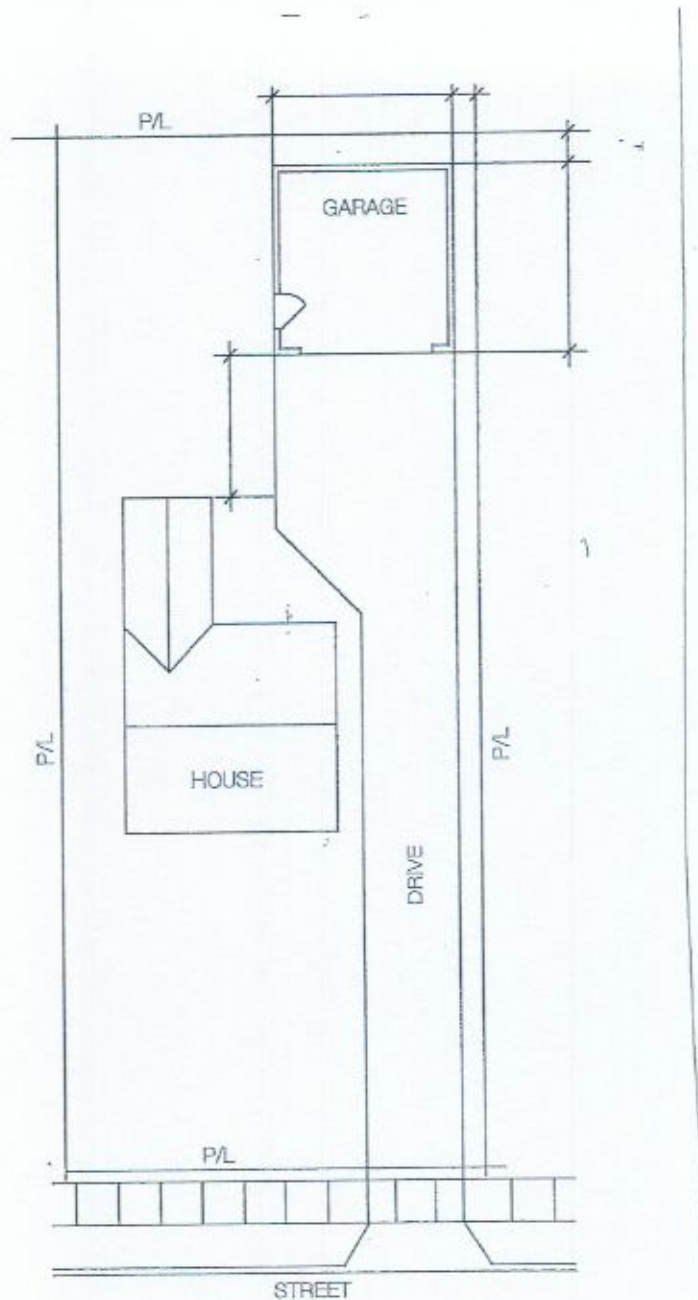
Accessory Buildings One-Story Detached 201 square feet or more

1. A zoning permit and a building permit must be obtained. A permit applications must be completed and signed.
2. A site plan must accompany the zoning and building permit applications to show the location of the building. Buildings must be located on the property in accordance with City of Ashland zoning regulations, and constructed in accordance with the Residential Code of Ohio requirements.
3. A minimum of six inches from the siding to the ground must be maintained. The accessory building is required to be secured to an approved foundation. These buildings and foundations must conform to the Residential Code of Ohio.

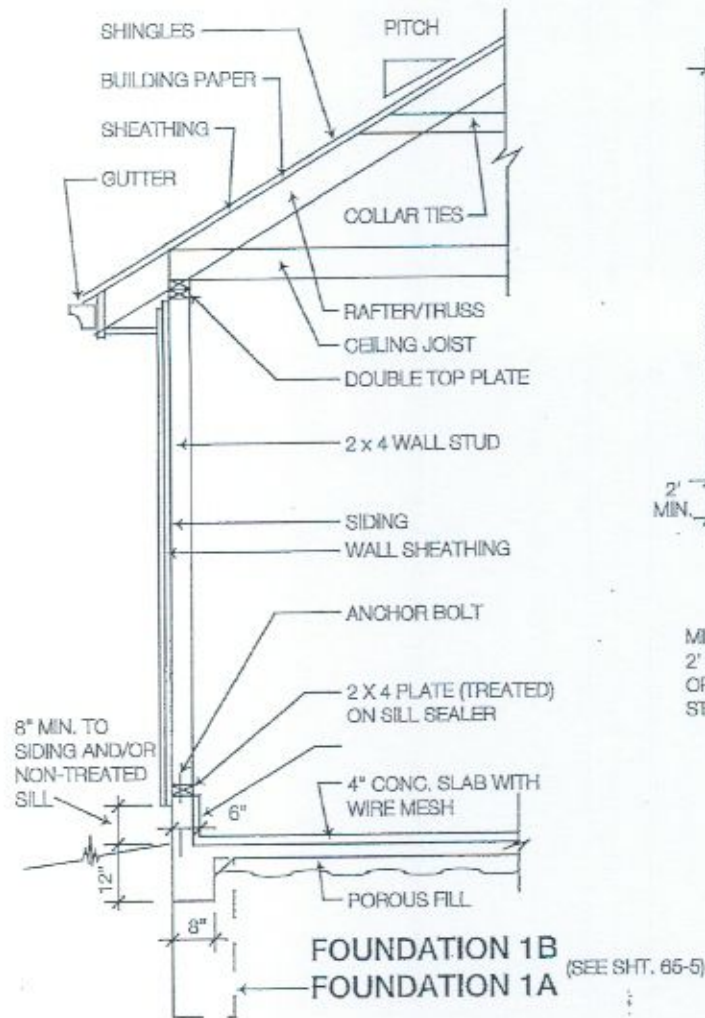
City of Ashland Accessory Building Standards

SAMPLE SITE PLAN:

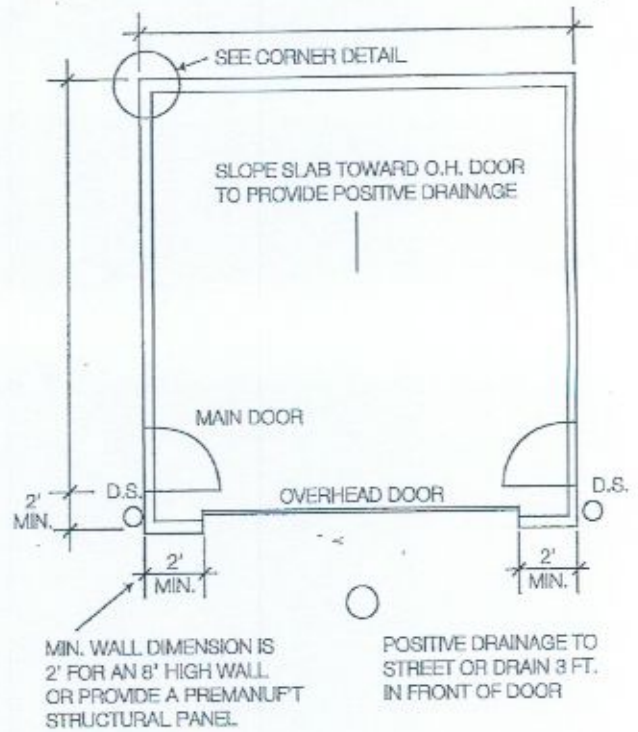
Indicate lot size, accessory building size, and distances to lot lines and other buildings and/or structures on the lot.



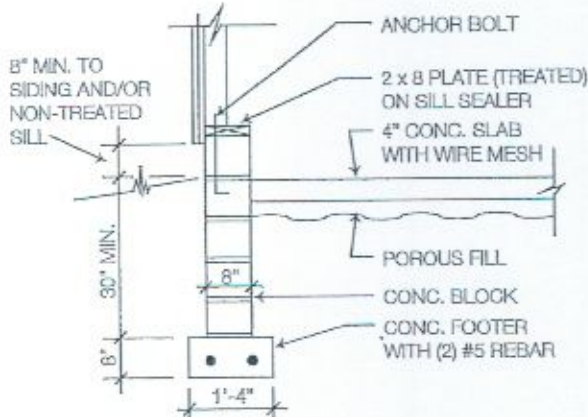
DETAILS



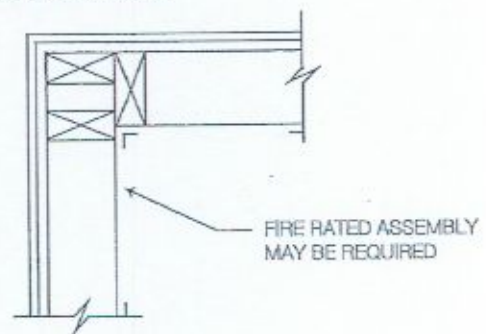
GARAGE PLAN



FOUNDATION 2

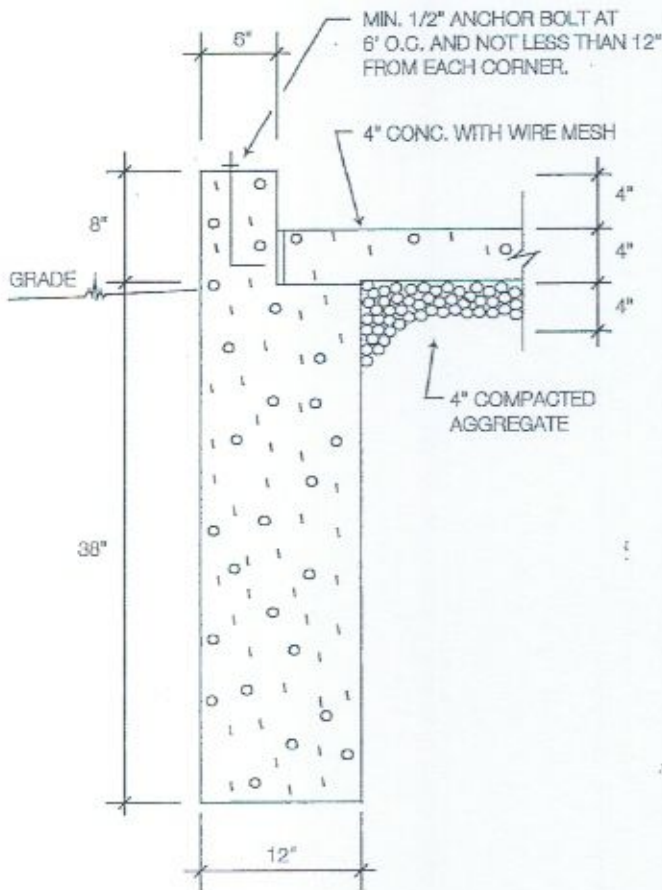


CORNER DETAIL

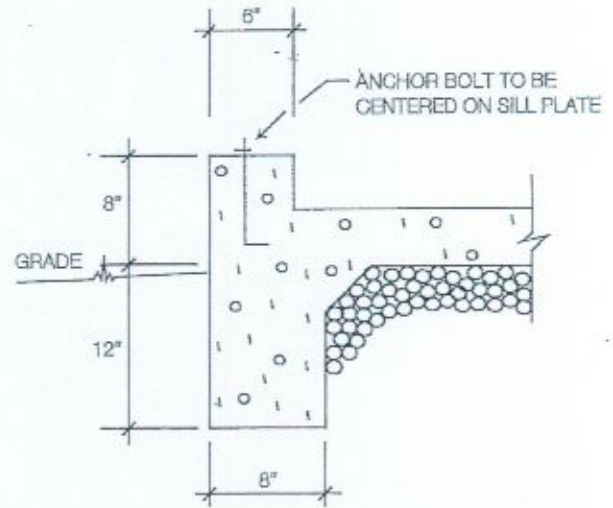


The following detail is for clarification of the footing and framing requirements for garages. If the foundation wall is constructed of masonry block, use a 2" x 8" plate (treated) in lieu of the 2" x 4".

ANCHOR BOLTS MUST BE A MIN. OF 7 INCHES INTO CONCRETE AND NO LESS THAN 2 BOLTS PER PLATE SECTION.



FOUNDATION FOR GARAGES OVER 600 SQUARE FEET



FOUNDATION FOR GARAGES 600 SQUARE FEET OR LESS

City of Ashland, Ohio

Wood Frame Deck Construction

Detached open decks 200 square feet or less

1. A zoning permit must be obtained – No building permit is required decks 200 square feet or less, that are not more than 30 inches above grade at any point, are not attached to a dwelling, and do not serve the required exit door. A zoning permit application must be completed and signed. The zoning permit is \$50.
2. A site plan must accompany the zoning permit application to show the location of the deck. Decks must be located on the property in accordance with City of Ashland zoning regulations.
3. Decks not supported by a dwelling need not be provided with footings that extend below the frost line.

Attached decks and detached open decks 201 square feet or more

Attached decks and detached decks 201 square feet or larger must be constructed in accordance with the City of Ashland Zoning Code, and the Residential Code of Ohio, including but not limited to the requirements listed below:

1. A building permit is required for decks attached to dwellings, and detached decks 201 square feet or more; and/or are more than 30 inches above grade at any point; or are part of the means of egress for the dwelling.
2. A site plan and construction plans must accompany the building permit application to indicate the location of the deck, and construction details. A permit fee of \$50.00 is due at issuance of the permit.
4. Decks supported by a dwelling need to be provided with footings that extend below the frost line. (See Table 403.5 page two)
5. All wood framing and decking shall be approved preservative treated lumber or a naturally durable wood such as cedar or redwood. Deck boards may also be an approved exterior wood/plastic composite material; installed per the manufacturer's instructions.
6. Deck floor framing and attachment to structures shall be constructed in accordance with Section 502.2.2 of the Residential Code of Ohio. (See attached code sections page two)

7. Guards must be provided at any point where deck is 30 inches or more above grade. Guards must be a minimum of 36 inches in height, with openings limited to 4 inches in width.
8. Stairways must be properly constructed and at least one handrail must be provided on all stairways with four or more risers. (three or more treads)

403.5 Exterior deck footings. Exterior deck footings of poured-in-place concrete shall be a minimum of 8 inches (203 mm) thick and extend below the frost depth per Table 301.2(1). The diameter or width of the footing shall comply with Table 403.5.

**TABLE 403.5
MINIMUM FOOTING SIZE FOR
DECK FOOTINGS WITHOUT ROOF LOADS**

| EXTERIOR DECK AND PORCH FOOTING SIZE IN INCHES ^{a,b} | | |
|---|---------|---|
| Diameter | Square | Maximum Tributary Area Allowed Per Post (square feet) |
| 8 | 8 × 8 | 14 |
| 10 | 9 × 9 | 22 |
| 12 | 11 × 11 | 31.6 |
| 14 | 13 × 13 | 42.8 |
| 16 | 15 × 15 | 56 |
| 18 | 16 × 16 | 70.8 |
| 20 | 18 × 18 | 87.2 |

- a. Based upon 2000 lbs. per square foot soil bearing capacity.
b. Based upon 40 lbs. per square foot live load and a 10 lbs. per square foot dead load.

502.2.2 Decks. Where supported by attachment to an exterior wall, decks shall be positively anchored to the primary structure and designed for both vertical and lateral loads as applicable. Such attachment shall not be accomplished by the use of toenails or nails subject to withdrawal. Where positive connection to the primary building structure cannot be verified during inspection, decks shall be self-supporting. For decks with cantilevered framing members, connections to exterior walls or other framing members, shall be designed and constructed to resist uplift resulting from the full live load specified in Table 301.5 acting on the cantilevered portion of the deck.

502.2.2.1 Deck ledger connection to band joist. For decks supporting a total design load of 50 pounds per square foot (2394 Pa) [40 pounds per square foot (1915 Pa) live load plus 10 pounds per square foot (479 Pa) dead load], the connection between a deck ledger of pressure-preservative-treated Southern Pine, incised pressure-preservative-treated Hem-Fir or approved decay-resistant species, and a 2-inch (51 mm) nominal lumber band joist bearing on a sill plate or wall plate shall be constructed with 1/2-inch (12.7 mm) lag screws or bolts with washers in accordance with Table 502.2.2.1. Lag screws, bolts and washers shall be hot-dipped galvanized or stainless steel.

502.2.2.1.1 Placement of lag screws or bolts in deck ledgers. The lag screws or bolts shall be placed 2 inches (51 mm) in from the bottom or top of the deck ledgers and between 2 and 5 inches (51 and 127 mm) in from the ends. The lag screws or bolts shall be staggered from the top to the bottom along the horizontal run of the deck ledger.

502.2.2.2 Alternate deck ledger connections. Deck ledger connections not conforming to Table 502.2.2.1 shall be designed in accordance with accepted engineering practice. Girders supporting deck joists shall not be supported on deck ledgers or band joists. Deck ledgers shall not be supported on stone or masonry veneer.

502.2.2.3 Deck lateral load connection. The lateral load connection required by Section 502.2.2 shall be permitted to be in accordance with Figure 502.2.2.3. Hold-down tension devices shall be installed in not less than two locations per deck, and each device shall have an allowable stress design capacity of not less than 1500 pounds (6672 N).

502.2.2.4 Exterior wood/plastic composite deck boards. Wood/plastic composite deck boards shall be installed in accordance with the manufacturer's instructions.